



Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: David Lisinski
Phone #: (314) 771-0883
Email address of Applicant (for review comments): david@killeenstudio.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 9842 Clayton Rd.
If this ARB application is amending a project that is currently under construction, list permit #: 20210696
Zoning District: Q-1 Commercial Parcel ID # (St. Louis county tax record): 9826

DESCRIPTION OF PROPOSED PROJECT: Exterior improvements to existing shopping center to include new dormered facade, new covered walking path at existing storefronts, and re-stripping of existing parking pavement. This project has been permitted. It is being presented today seeking ARB approval of revised colors, added small awnings, and "Freestyle" finish at existing walls (in addition to this finish already planned for use at the new surfaces, as noted.)

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X David Lisinski Date: 10/13/22

* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.

Architectural Review Board Checklist

Please initial all items below to verify that your submittal includes all requirements:

The following items shall be submitted to the Building Department by 11:00 am, no later than 7 days prior to the regularly scheduled meeting. Plans 24" x 36" are preferred and should be folded into individual packets. If plans are not able to be 24" x 36", the smallest size possible is preferred. Plans to scale can be printed in half size.

DM THREE (3) copies of this application

DM THREE (3) copies of ARB plans, photographs and documentation arranged into individual packets. At least one set of plans must bear the signatures of subdivision trustees (if applicable). Items without trustee signatures will not be accepted until required signatures are obtained.

DM ONE PDF copy of all plans that are submitted in hard copy should be emailed to aquinn@cityofladue-mo.gov. This single PDF should include the application, plan sheets and photographs and any other documentation that the Board should review.

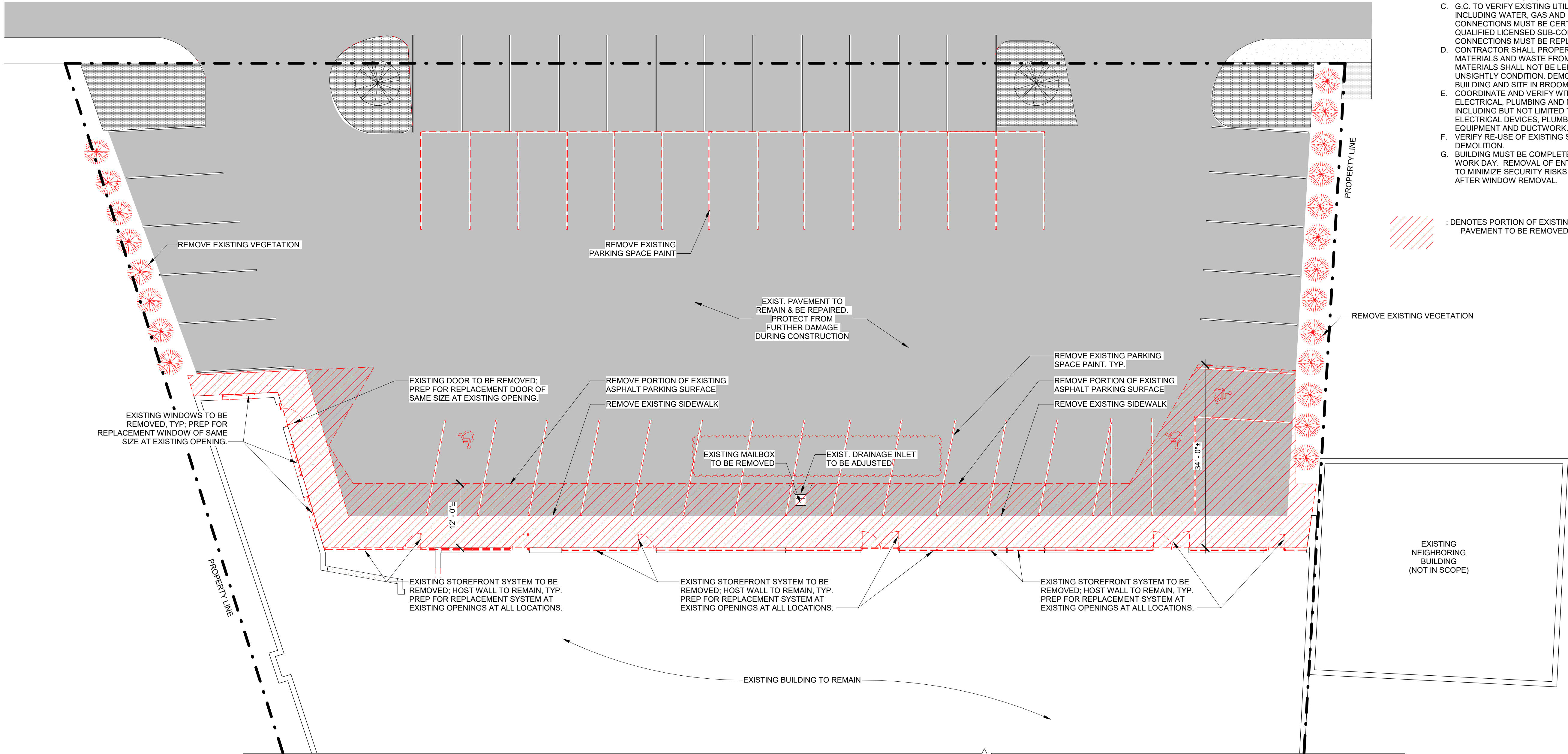
DM Schematic site plan at a scale of not less than one-inch equals 20 feet including the following:

- Dimensioned property lines,
- Building setback lines,
- Easements identified,
- Existing and proposed area of work,
- Location of driveways and parking areas,
- Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water. (For new residence and home additions only)
- Location of proposed landscape material (New residence only)
- Landscape material proposed to be removed (New residence only), and
- Identifying any accessory structures proposed or existing.
- Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

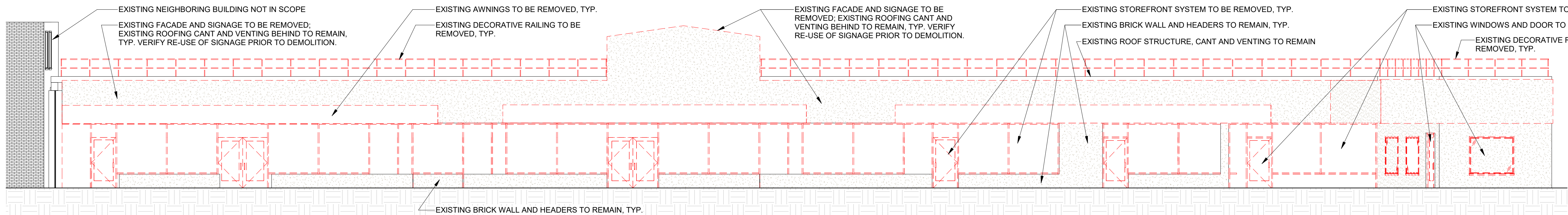
DM Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions. Plans may be printed in half-size.

DM Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations. Plans may be printed in half-size

DM Color photographs (8.5x11 inches) of the main building located on adjoining property. Color photographs (8.5x11 inches) of all building elevations of existing structures for projects involving remodeling or additions.



2 DEMOLITION FIRST FLOOR PLAN
3/32" = 1'-0"



1 NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

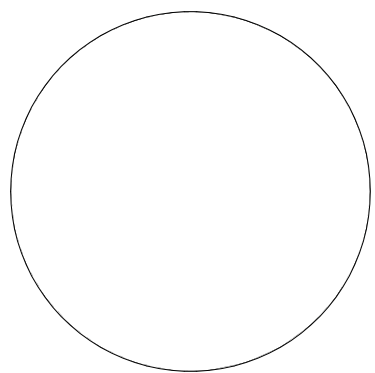
- COORDINATE LIMITS OF DEMOLITION WITH NEW CONSTRUCTION.
- G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE.
- G.C. TO VERIFY EXISTING UTILITY CONNECTIONS TO BE RE-USED, INCLUDING WATER, GAS AND ELECTRIC SERVICE. UTILITY CONNECTIONS MUST BE CERTIFIED FOR RE-USE, IN WRITING, BY A QUALIFIED LICENSED SUB-CONTRACTOR. UN-USABLE UTILITY CONNECTIONS MUST BE REPLACED.
- CONTRACTOR SHALL PROPERLY DISPOSE OF ALL BUILDING MATERIALS AND WASTE FROM THIS JOB SITE DAILY. DEMOLITION MATERIALS SHALL NOT BE LEFT ON THE SITE TO CREATE AN UNSIGHTLY CONDITION. DEMOLITION CONTRACTOR SHALL LEAVE BUILDING AND SITE IN BROOM CLEAN CONDITION.
- COORDINATE AND VERIFY WITH OWNER FOR REMOVAL OF ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS, IF APPLICABLE, INCLUDING BUT NOT LIMITED TO WIRING, LIGHT FIXTURES, ELECTRICAL DEVICES, PLUMBING LINES AND FIXTURES, HVAC EQUIPMENT AND DUCTWORK.
- VERIFY RE-USE OF EXISTING SIGNAGE WITH OWNER PRIOR TO DEMOLITION.
- BUILDING MUST BE COMPLETELY SECURED AT THE END OF EACH WORK DAY. REMOVAL OF ENTRY DOORS SHALL BE SCHEDULED AS TO MINIMIZE SECURITY RISKS. SECURE/BOARD WINDOW OPENINGS AFTER WINDOW REMOVAL.

RED HATCHED AREA : DENOTES PORTION OF EXISTING PAVEMENT TO BE REMOVED.



3015 SALENA STREET
ST. LOUIS, MO 63118
314-771-0883

SEAL #: A-7597



09/07/22

WOLFF FACADE RENOVATION

9842 CLAYTON RD.
ST. LOUIS, MO. 63124

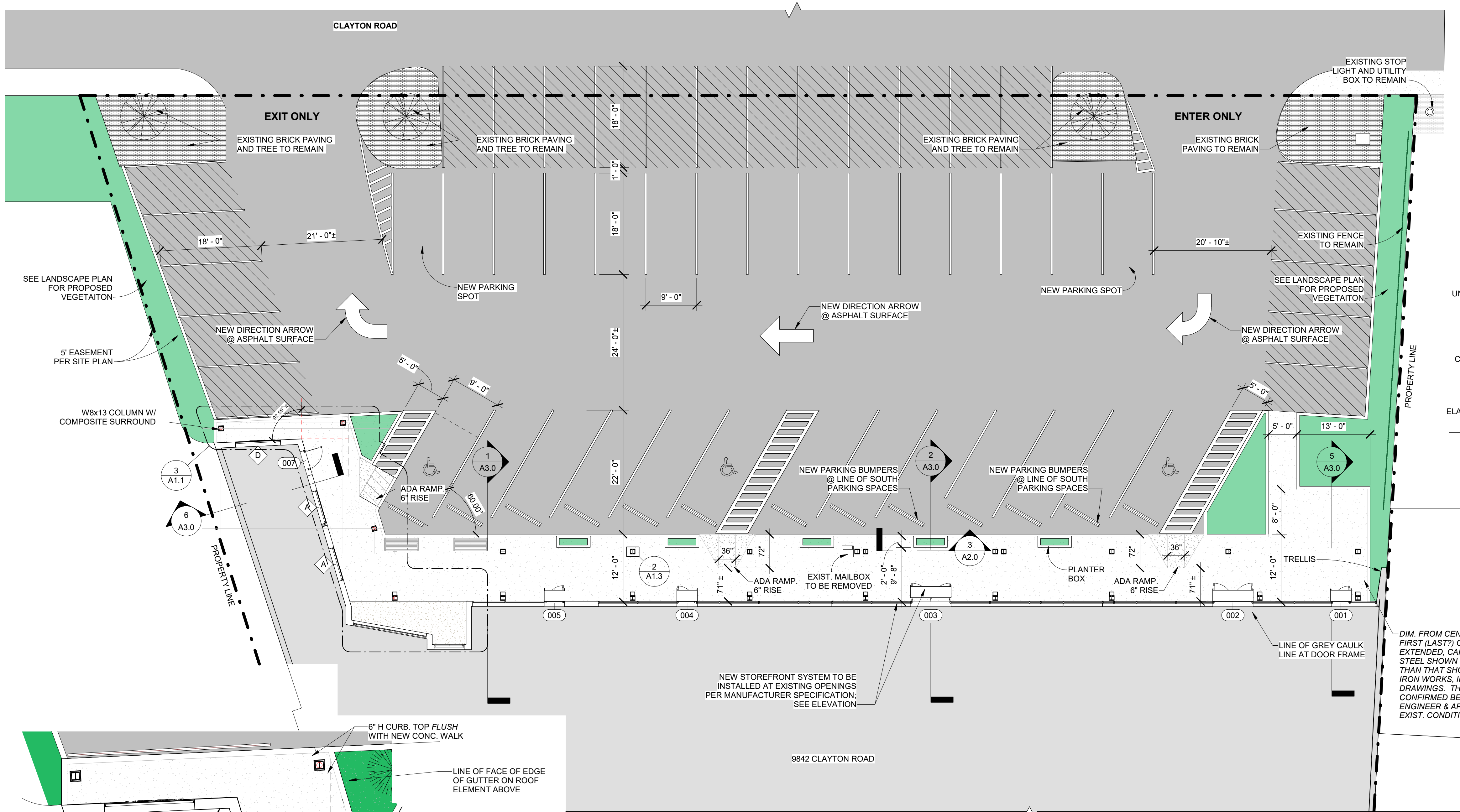
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	06/13/22	PERMIT
2	09/07/22	REVISION 2
3	10/13/22	REVISION 3

DRAWN BY: CH CHECKED BY: DL
SHEET NO.

A1.0

Demolition Plan &
Elevation





1 SITE AND COLUMN PLAN
3/32" = 1'-0"

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	SILL HEIGHT	TYPE	NOTES
A	6' - 0"	5' - 0"	2' - 0"±, E.T.R.	FIXED, INSULATED	INFILL @ EXISTING OPENING
B	1' - 0"	2' - 6"		FIXED, SINGLE-PANE	VISUAL OCCLUSION AT GLAZING
C	2' - 0"	5' - 0"		FIXED, SINGLE PANE	

WINDOW GENERAL NOTES:

- DIMENSION PROVIDED ON WINDOW SCHEDULES ARE FOR REFERENCE ONLY. CONTRACTOR MUST FIELD VERIFY DIMENSIONS.
- ADJUST ALL NEW SILL DEPTHS ACCORDING TO THICKNESS OF FURRING AT EACH LOCATION.
- ALL NEW ALUMINUM-CLAD WINDOWS TO HAVE "DARK BRONZE ANODIZED" COLOR FINISH AT EXTERIOR OR EQUIVALENT. CONTRACTOR TO SUBMIT COLOR SAMPLE FOR APPROVAL BY OWNER AND ARCHITECT.
- ALL WINDOWS TO RECEIVE PAINTED TRIM AROUND THE INTERIOR; TRIM PROFILES AND FINISH TO MATCH EXISTING AND BE APPROVED BY OWNER.
- GENERAL CONTRACTOR TO VERIFY EXISTING OPENING SIZE AT NEW DOOR(S) TO BE INSTALLED IN EXISTING OPENING(S). REFER TO PLAN FOR LOCATION(S).
- PROVIDE VISUAL OCCLUSION AT SINGLE-PANE, GLAZED DECORATIVE WINDOW PER PLANS.

DOOR SCHEDULE					
NUMBER	WIDTH	HEIGHT	DOOR TYPE	Frame Material	NOTES
001	5' - 0"	6' - 9"	STOREFRONT DOOR - NARROW FRAME		
002	3' - 0"	6' - 11"	STOREFRONT DOOR - NARROW FRAME	DARK BRONZE ALUMINUM	
003	6' - 10"	6' - 11"	STOREFRONT DOOR - NARROW FRAME	DARK BRONZE ALUMINUM	
004	3' - 4"	6' - 11"	STOREFRONT DOOR - NARROW FRAME	DARK BRONZE ALUMINUM	ALTERNATE 6'-0" DOOR; SEE ELEVATION
005	3' - 3"	6' - 11"	STOREFRONT DOOR - NARROW FRAME	DARK BRONZE ALUMINUM	
007	3' - 2 1/2"	7' - 5 1/2"	EXTERIOR DOOR - T.B.D.	DARK BRONZE ALUMINUM	

DOOR GENERAL NOTES:

- GLASS IN DOORS, TRANSOMS, SIDELIGHTS, AND STOREFRONTS SHALL BE TEMPERED GLASS.
- DOORS AND FRAMES SHALL BE PREPARED TO RECEIVE HARDWARE. COORDINATE WITH OWNER.
- PROVIDE TYPICAL COMMERCIAL STOREFRONT DOOR HARDWARE (DARK BRONZE LEVER, BAR, ETC.), INCLUDING; THUMB TURN DEAD BOLT LOCKS AND OVERHEAD CLOSERS AT ENTRY DOORS. VERIFY HARDWARE SELECTION AND FUNCTION WITH OWNER PRIOR TO ORDERING.
- EXTERIOR DOORS SHALL BE PROPERLY WEATHER-STRIPPED. PROVIDE AN ADJUSTABLE THRESHOLD; NO DAYLIGHT SHALL BE SHOWING WHERE DOOR CONTACTS FRAME OR ADJACENT DOOR.
- DIMENSION PROVIDED ON DOOR AND WINDOW SCHEDULES ARE FOR REFERENCE ONLY. CONTRACTOR MUST FIELD VERIFY DIMENSIONS.
- ALL ALUMINUM DOORS TO BE PRE-FINISHED IN DARK BRONZE. COORDINATE WITH OWNER.
- GENERAL CONTRACTOR TO VERIFY EXISTING OPENING SIZE AT NEW DOOR(S) TO BE INSTALLED IN EXISTING OPENING(S). REFER TO PLAN FOR LOCATION(S).
- ALL DOORS TO MEET 2021 IECC FOR U-VALUE AND SHGC.
- ALL DOORS TO BE INSULATED.

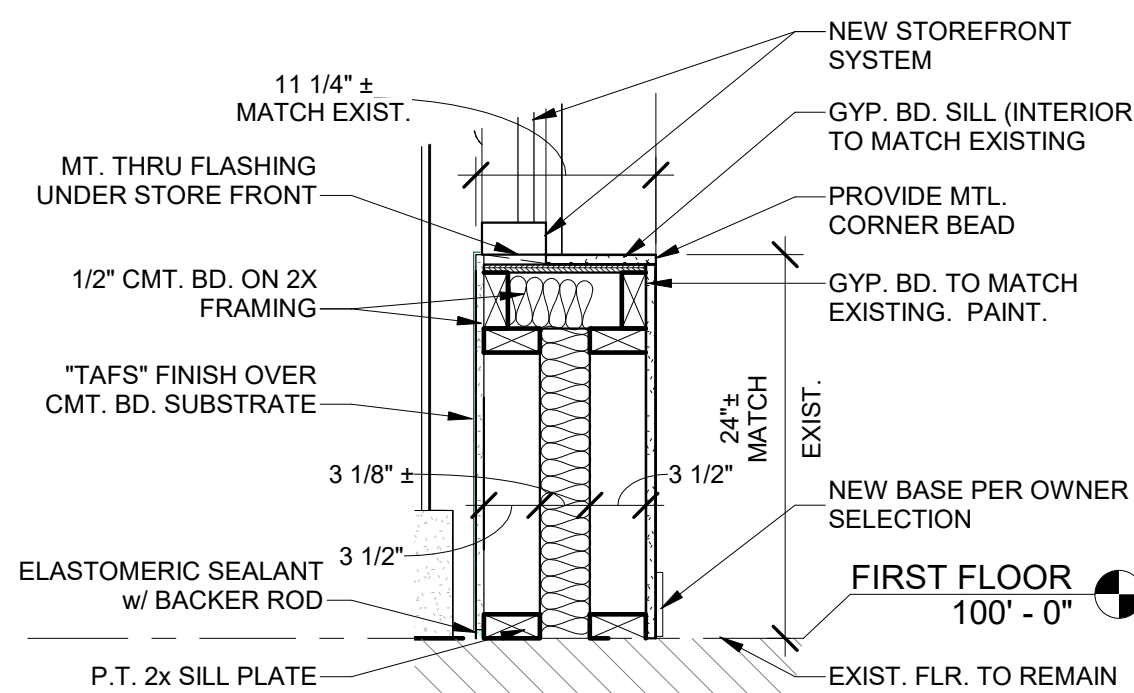
PROPOSED SITE AND FLOOR PLAN NOTES:

- EXISTING PARKING SURFACE AREA AND ANY EXISTING GRILLES TO REMAIN. SURFACE TO BE REPAIRED AND RE-STRIPED.
- NEW CONCRETE WALKWAY TO BE ADDED IN PLACE OF EXISTING AT STOREFRONTS. REFER TO PLAN FOR DIMENSIONS.
- STOREFRONT SYSTEM AND WINDOWS TO BE REPLACED PER OWNER SELECTION AT EXISTING OPENINGS BY OTHERS.
- ALL EXTERIOR FINISHES AND HARDWARE SELECTION TO BE COORDINATED WITH OWNER. SEE SPECIFICATIONS FOR MORE FINISH INFORMATION.
- TRASH CANS, BENCHES AND OTHER SITE IMPROVEMENTS TO BE PROVIDED BY OWNER UPON COMPLETION OF CONSTRUCTION.
- INTERIOR OF EXISTING SPACE AND REAR PORTION OF PROPERTY ARE NOT IN SCOPE.

PARKING INFORMATION:

EXISTING PARKING SPACES: 47, 3 HANDICAP
PROPOSED PARKING SPACES: 47, 3 HANDICAP

: DENOTES SPOTS THAT ARE EXISTING TO REMAIN; TO BE RE-STRIPED IN EXISTING LOCATION.



2 SECTION @ AREA TO BE INFILLED
1" = 1'-0"

3 SIDEWALK DIMS. @ WEST END
3/16" = 1'-0"



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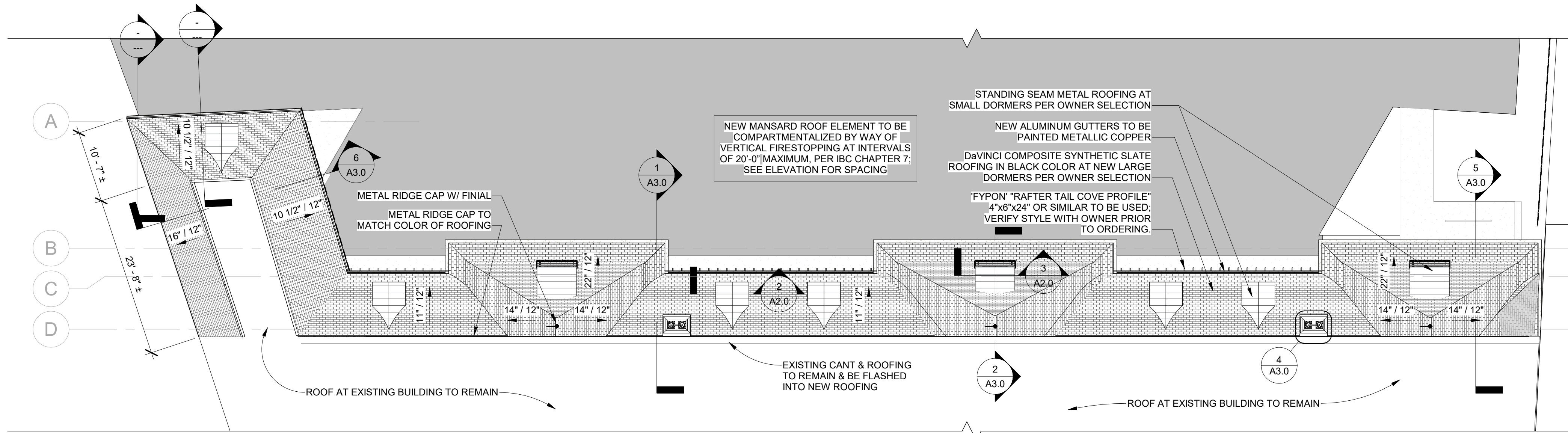
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2	09/07/22	REVISION 2

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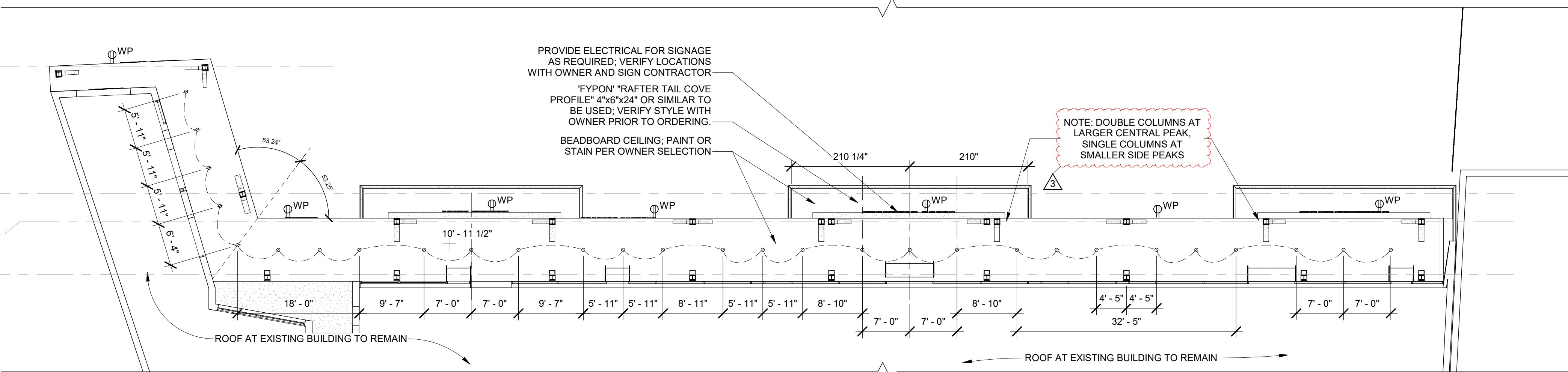
A1.1

Proposed Site &
Column Plan





1 ROOF PLAN
3/32" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"

* PROVIDE DUSK TO DAWN CONTROL TIMER OR SENSOR AT EXTERIOR RECESSED CAN LIGHTING. VERIFY LOCATION OF CIRCUITS WITH OWNER AND ELECTRICIAN.

GENERAL CEILING PLAN NOTES:

- A. ALL CEILING HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
B. LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED BY THE G.C. U.N.O.; FINAL SELECTIONS TO BE APPROVED BY OWNER PRIOR TO PURCHASING.
C. LAYOUT SHOWN IS SUGGESTED ONLY; FINAL LAYOUT AND LOCATION OF ALL ELECTRICAL DEVICES TO BE APPROVED AND COORDINATED WITH OWNER ON SITE PRIOR TO INSTALLATION.
D. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS IN ACCESSIBLE LOCATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ICC/ANSI A117.1

GENERAL ROOF NOTES:

- A. REMOVE EXISTING ROOFING DOWN TO ROOF DECK AT ALL EXISTING FLAT ROOFS.
B. VERIFY DECKING IS STRUCTURALLY SOUND AND FREE OF DETERIORATED SUBSTRATE. DETERIORATED SHEATHING SHALL BE REMOVED AND REPLACED WITH NEW MATERIALS.
C. BEFORE INSTALLATION OF ROOFING, VERIFY THAT DECK IS DRY, SOUND, CLEAN AND SMOOTH. IT SHALL BE FREE OF ANY DEPRESSIONS, WEAVES AND PROJECTIONS. COVER WITH SHEET METAL, ALL HOLES 1 INCH IN DIAMETER, CRACKS OVER 1/2 INCH IN WIDTH, LOOSE KNOTS AND EXCESSIVELY RESINOUS AREAS.
D. CLEAN DECK SURFACES THOROUGHLY PRIOR TO INSTALLATION OF EAVE PROTECTION MEMBRANE AND UNDERLAYMENT.
E. INSTALL EAVE PROTECTION MEMBRANE AT LEAST 36" WIDE, LAP ENDS 6" AND SEAL.
F. INSTALL ONE LAYER OF ROOF DECK UNDERLAYMENT (FELT WEIGHT CONSISTENT WITH MANUFACTURER'S INSTRUCTION) OVER THE ENTIRE AREA NOT PROTECTED BY EAVE PROTECTION OR VALLEY MEMBRANE.
G. VENT PIPES: INSTALL A 24" SQUARE PIECE OF EAVE PROTECTION MEMBRANE LAPPING OVER ROOF DECK UNDERLAYMENT; SEAL TIGHTLY TO PIPE.
H. INSTALL ROOFING ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND CITY BUILDING CODE.
I. ATTIC VENTING MUST NOT BE VISIBLE FROM STREET.
J. PROVIDE 20 YEAR WARRANTY WITH A 2 YEAR LABOR WARRANTY.
K. ALL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING IN SIZE, COLOR, PROFILE, MATERIAL AND FINISH. CONNECT TO POP-UP EMITTERS AND DIVERT WATER FROM BUILDING AS REQUIRED BY MSD.

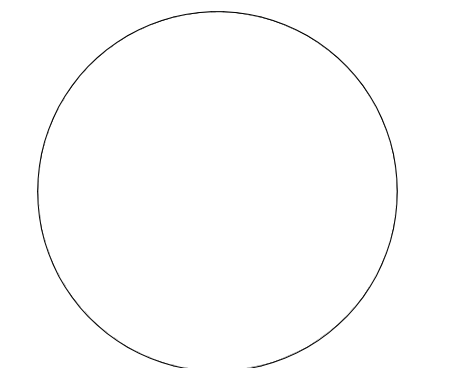
LIGHTING AND ELECTRICAL SYMBOL LEGEND

- Ⓜ GFCI GROUND FAULT CURRENT INTERRUPTER PROTECTED ELEC. OUTLET (15" A.F.F. OR 6" ABOVE COUNTER, U.N.O.)
Ⓜ WP WEATHERPROOF DUPLEX RECEPTACLE (15" A.F.F. OR 6" ABOVE COUNTER, U.N.O.)
S SINGLE-POLE SWITCH (48" A.F.F., U.N.O.)
S DM DIMMABLE SWITCH (48" A.F.F., U.N.O.)
S 3 THREE-WAY SWITCH (48" A.F.F., U.N.O.)
Ⓜ RECESSED (CAN) LIGHT FIXTURE W/ WEATHERPROOF TRIM
Ⓜ WALL-MOUNTED (EXTERIOR) LIGHT FIXTURE
Ⓜ MOTION AND SWITCH EXTERIOR FLOOD LIGHTS



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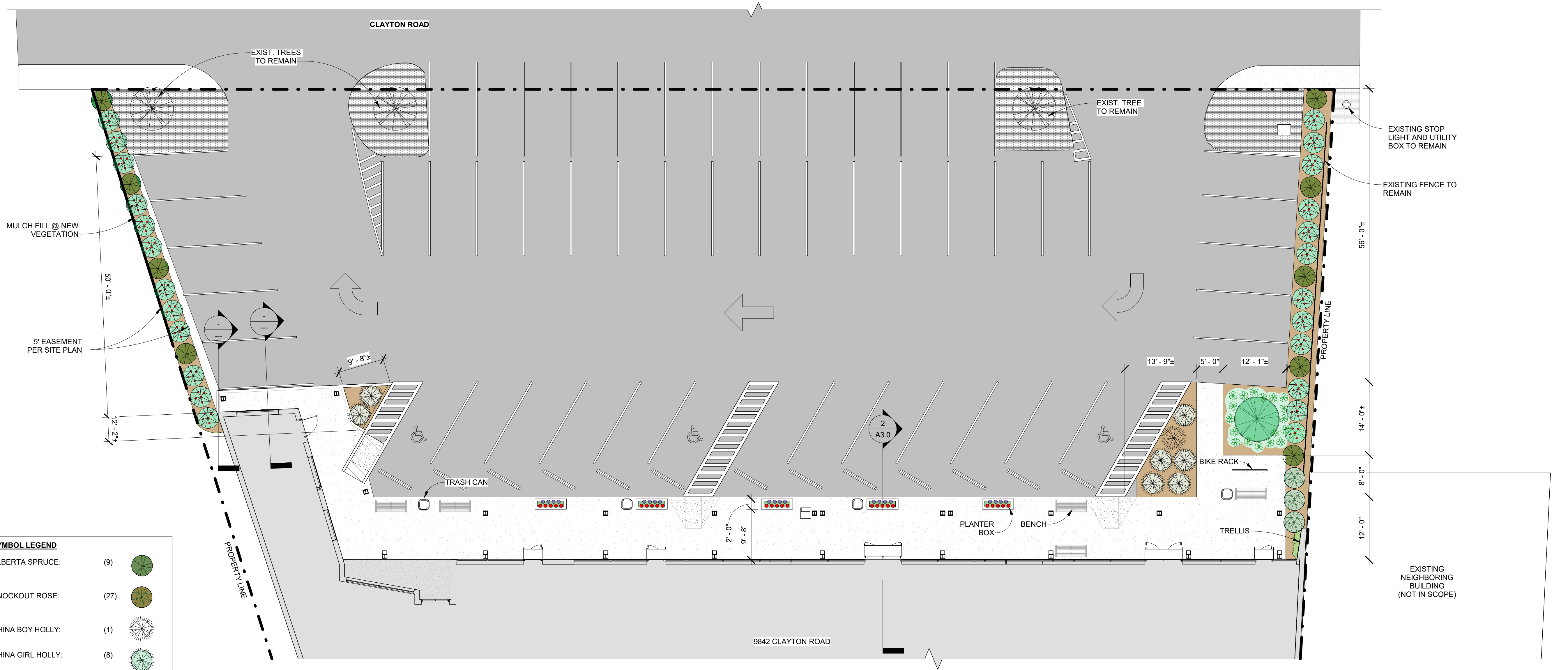
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1	07/01/22	REVISION 1
2	09/07/22	REVISION 2
3	10/13/22	REVISION 3

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SHEET NO.

A1.2

Roof & Reflected Ceiling Plan

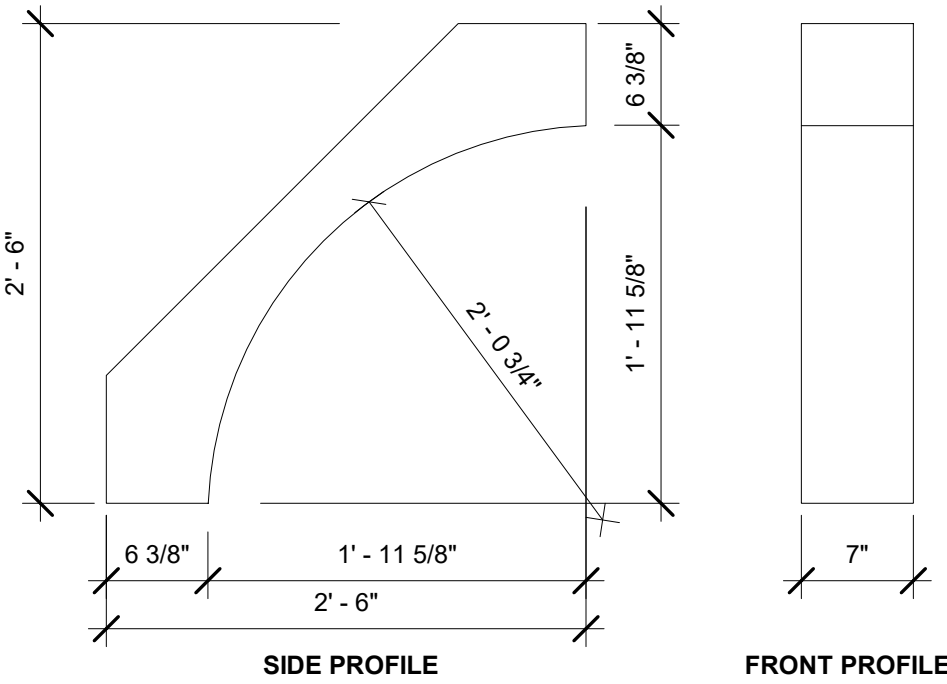




SYMBOL LEGEND		
ALBERTA SPRUCE:	(9)	
KNOCKOUT ROSE:	(27)	
CHINA BOY HOLLY:	(1)	
CHINA GIRL HOLLY:	(8)	
HOSTA LILIES:	(18)	
CANNA LILIES:	(25)	
SUNPATIENS:	(20)	
CLIMBING HYDRANGEA:	(1)	
CRABAPPLE TREE:	(1)	
MULCH FILL:		

GREEN SPACE CALCULATION	
EXISTING GREEN SPACE:	687± SF
NEW GREEN SPACE:	400± SF
TOTAL GREEN SPACE:	1088± SF
IMPERVIOUS COVERAGE	
EXISTING COVERAGE	18,487± SF
NEW COVERAGE	18,087± SF
* CALCULATIONS REFLECT THE SITE AREA NORTH OF THE EXISTING BUILDING ONLY; OTHER PORTIONS OF THE SITE ARE NOT INCLUDED IN THIS PROJECT SCOPE.	

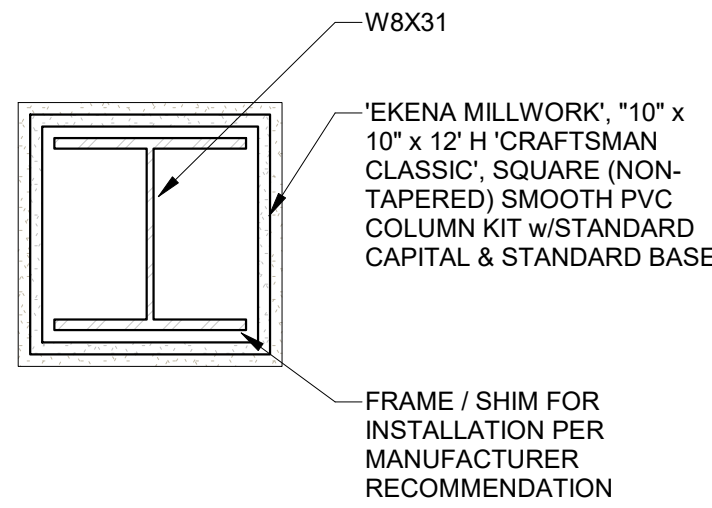
6 LANDSCAPE PLAN AND SYMBOL LEGEND
3/32" = 1'-0"



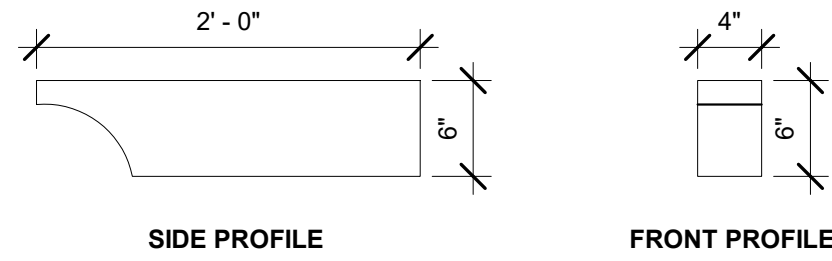
- NOTE:
- 'SPECTIS' "BL3010" OR SIMILAR TO BE USED; GRAPHIC SHOWN REFLECTS DIMENSIONS.
 - APPLICATION AT SMALL ROOF OVERHANG.
 - VERIFY FINAL PRODUCT SELECTION WITH GENERAL CONTRACTOR AND ARCHITECT.

5 DECORATIVE BRACKET DETAIL
1" = 1'-0"

* REFER TO PRODUCT MANUFACTURER FOR FURTHER INFORMATION AND INSTALLATION RECOMMENDATIONS. *



2 PLAN SECTION OF COLUMN AND SURROUND
1 1/2" = 1'-0"



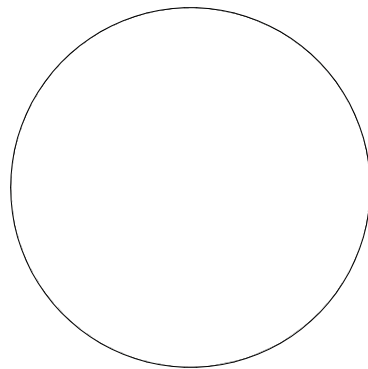
- NOTE:
- 'FYPON' "RAFTER TAIL COVE PROFILE" 4"x6"x24" OR SIMILAR TO BE USED; GRAPHIC SHOWN REFLECTS DIMENSIONS.
 - TRIM RAFTER TAIL IN FIELD TO FIT 6" APPLICATION AT SMALL ROOF OVERHANG.
 - VERIFY FINAL PRODUCT SELECTION WITH GENERAL CONTRACTOR AND ARCHITECT.

1 DECORATIVE EXPOSED RAFTER DETAIL
1" = 1'-0"



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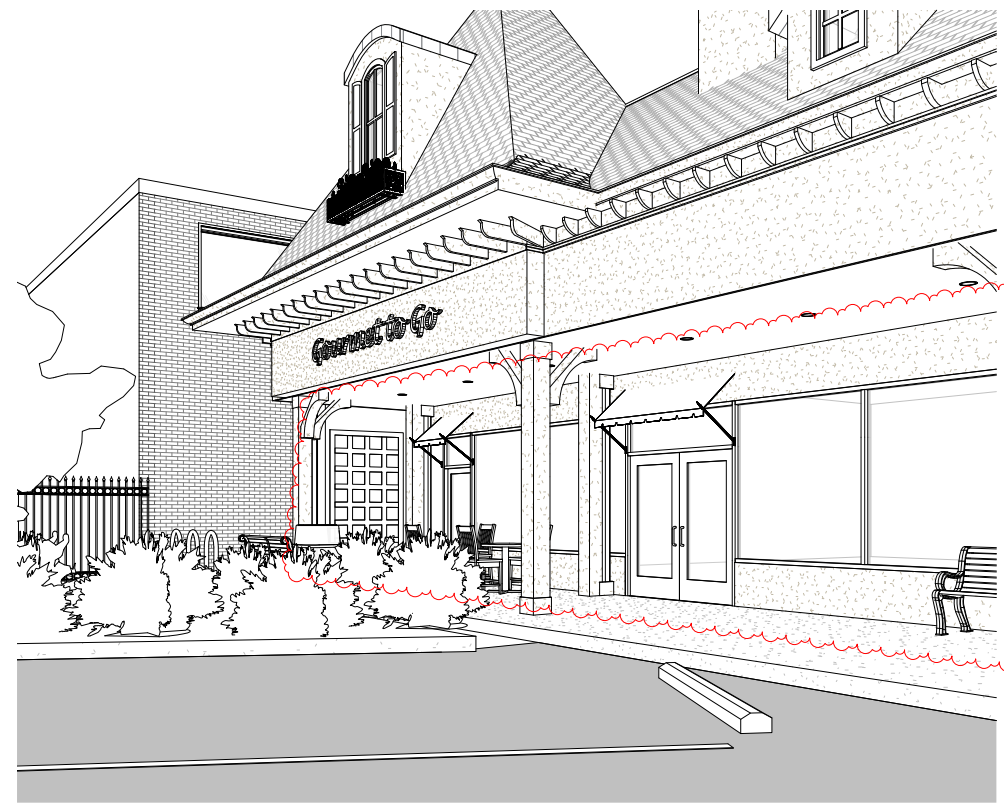
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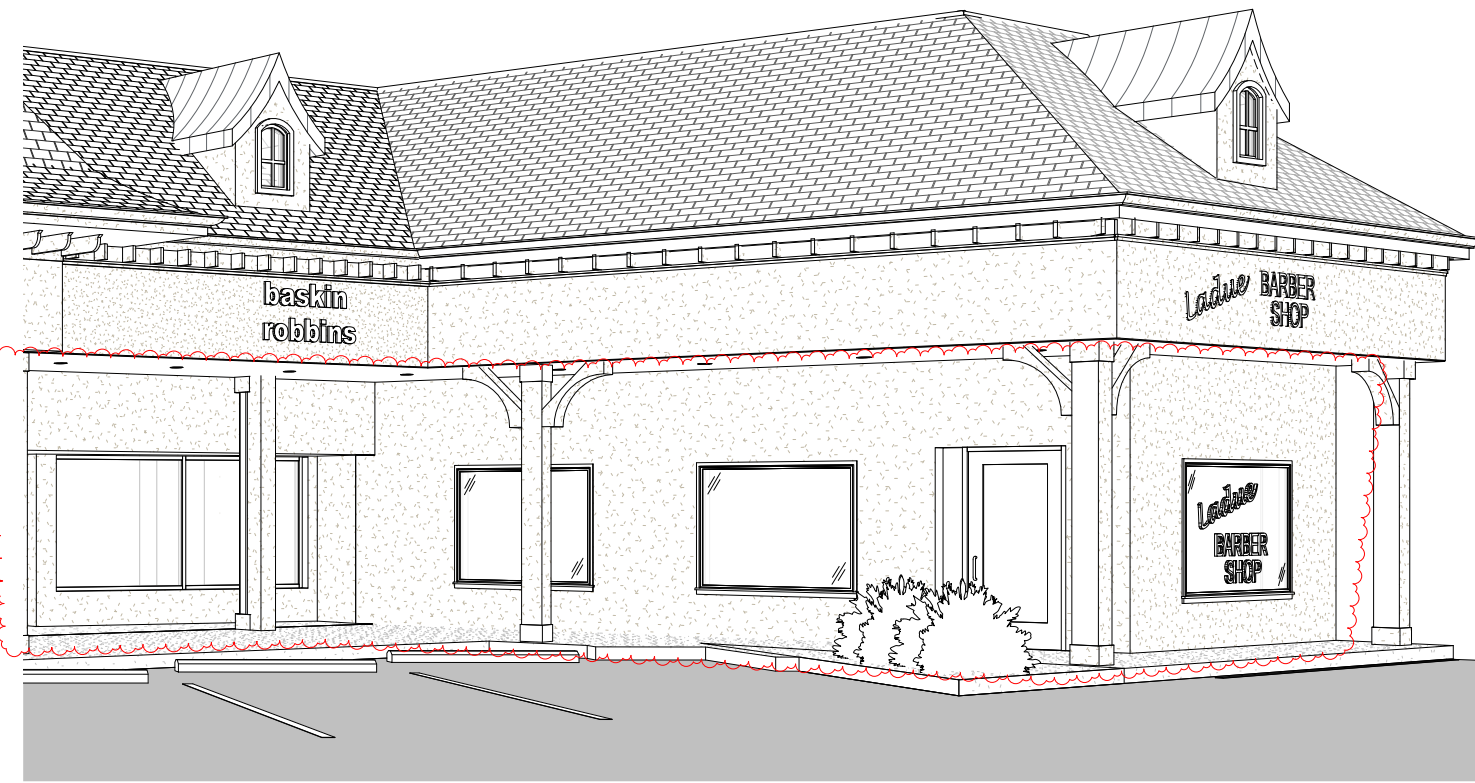
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Landscape &
Accessory Plan,
Details





8 VIEW AT STOREFRONT ENTRY



7 VIEW @ BARBER SHOP CORNER, WEST



6 VIEW @ BARBER SHOP CORNER

GENERAL MASONRY NOTES:

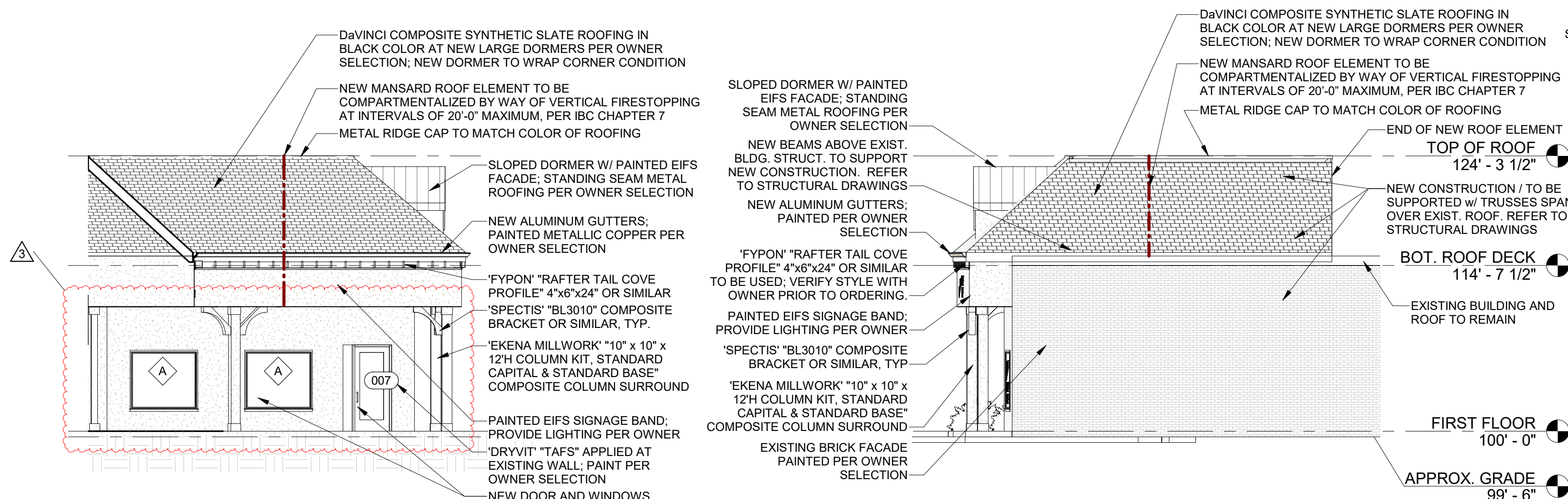
- PERFORM WORK IN ACCORDANCE WITH ACI-530
- USE **TYPE N** MORTAR: 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 1/2 PARTS SAND UNLESS MORTAR ANALYSIS REVEALS A DIFFERENT COMPOSITION.
- COMPLY WITH BIA TECHNICAL NOTE NO. 1, LATEST EDITION, FOR CONSTRUCTION DURING HOT AND COLD WEATHER CONDITIONS.
- EMPTY AND CRACKED MORTAR JOINTS SHALL BE POINTED TO MATCH THE REST OF THE STRUCTURE IN COLOR, COMPOSITION, TEXTURE, AND JOINT PROFILE.
- USE LOW-PRESSURE WATER OR GENTLE DETERGENTS WITH A NATURAL BRISTLE BRUSH WHERE MASONRY CLEANING IS NECESSARY. DO NOT USE WIRE BRUSHES, SANDBLASTING, HIGH PRESSURE WATER OR OTHER MEASURES WHICH MIGHT DAMAGE THE MASONRY SURFACE.
- EXISTING MASONRY WALLS, CHIMNEYS AND PARAPETS MUST BE INSPECTED FOR LOOSE MORTAR JOINTS AND STRUCTURAL STABILITY AND REPAIRED PER SPECIFICATIONS.
- INSTALL 20 MIL MEMBRANE FLASHING AT WINDOW SILLS, LINTELS, AND TOP OF FOUNDATIONS OF VENER WALLS (MASONRY VENEER).
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**KILLEEN STUDIO
ARCHITECTS**

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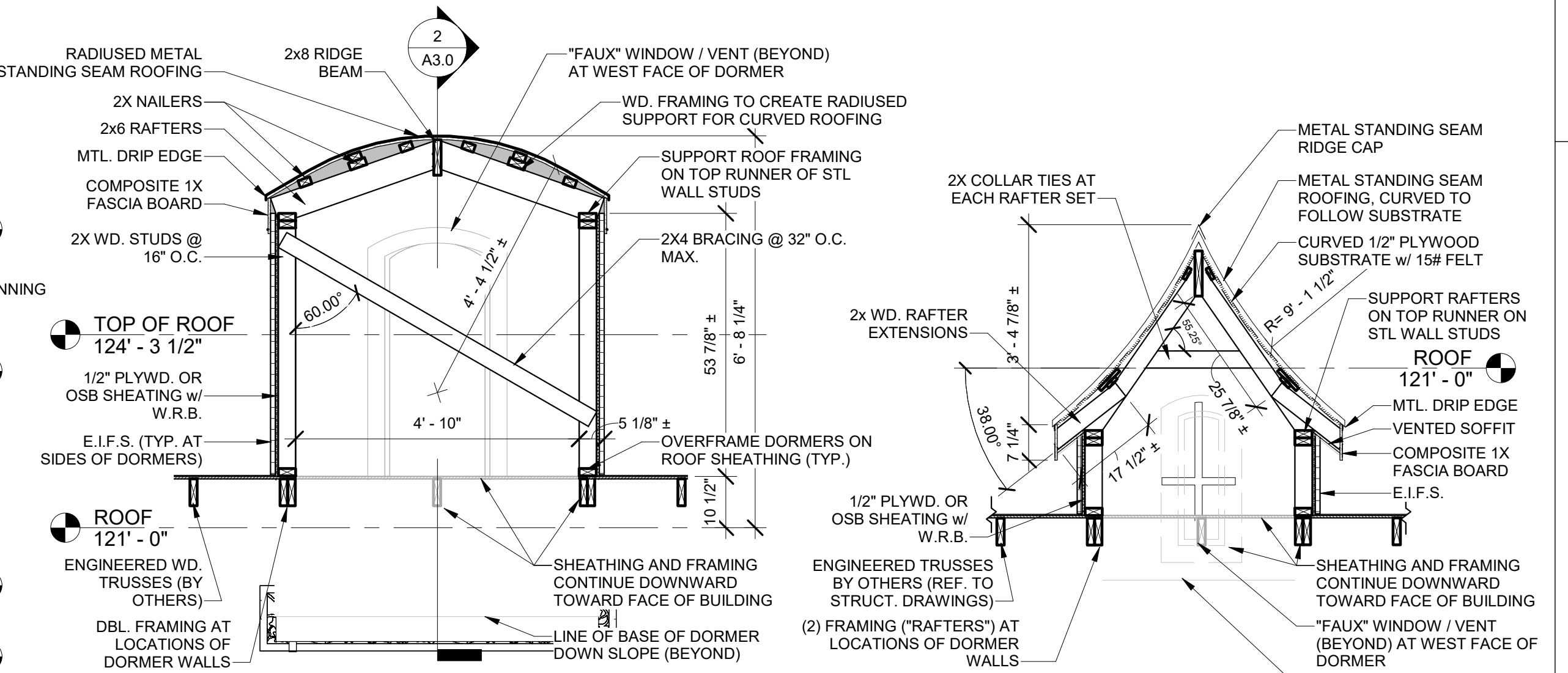
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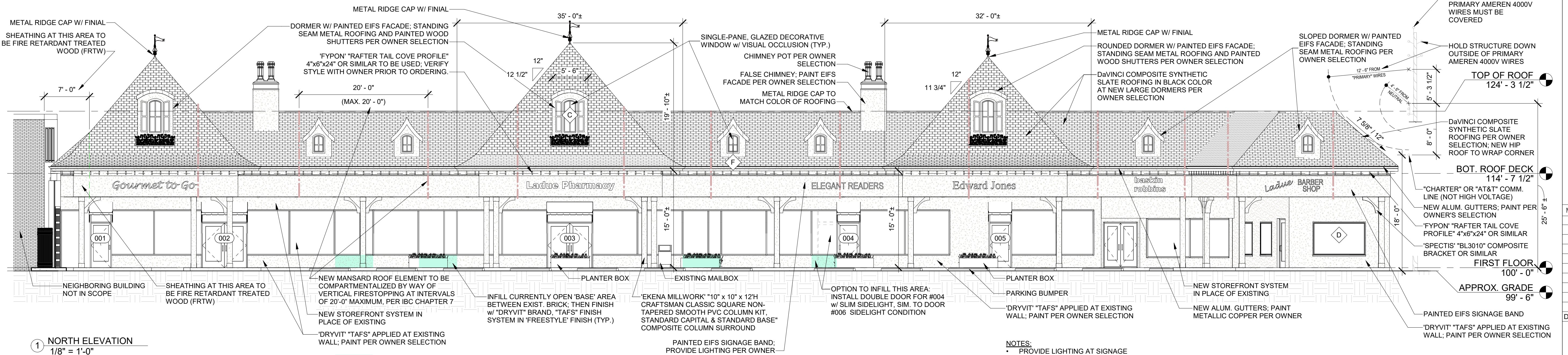
5 EAST ELEVATION (BARBER)
1/8" = 1'-0"

4 WEST ELEVATION
1/8" = 1'-0"



3 SECTION AT DORMER
1/2" = 1'-0"

2 SECTION AT DORMER
1/2" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

: DENOTES AREA OF NEW FACADE INFILL

- NOTES:
- PROVIDE LIGHTING AT SIGNAGE PER OWNER.
 - SIGNAGE REQUIRES SEPARATE "SIGNAGE" PERMITTING.

WOLFF FACADE RENOVATION

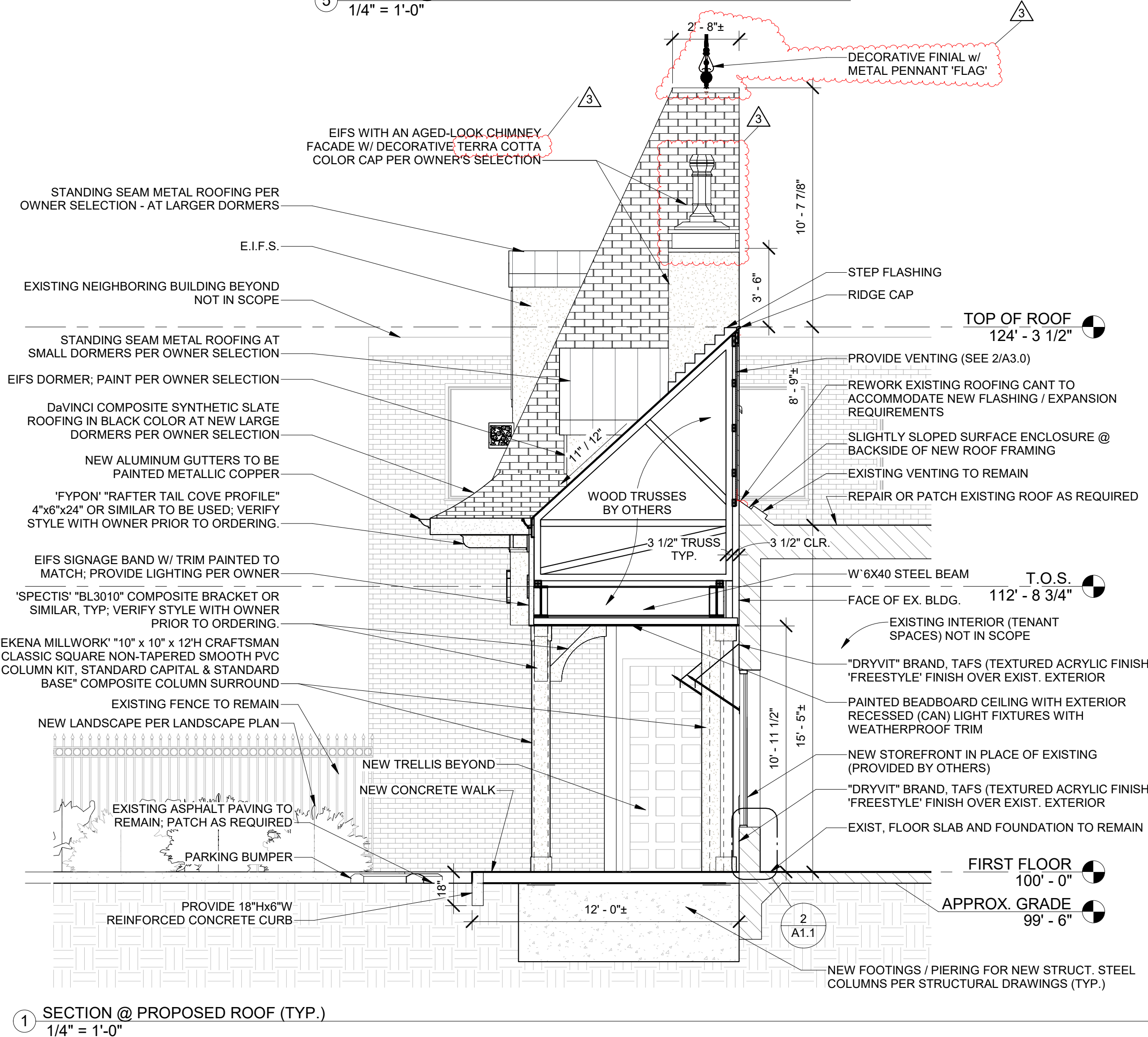
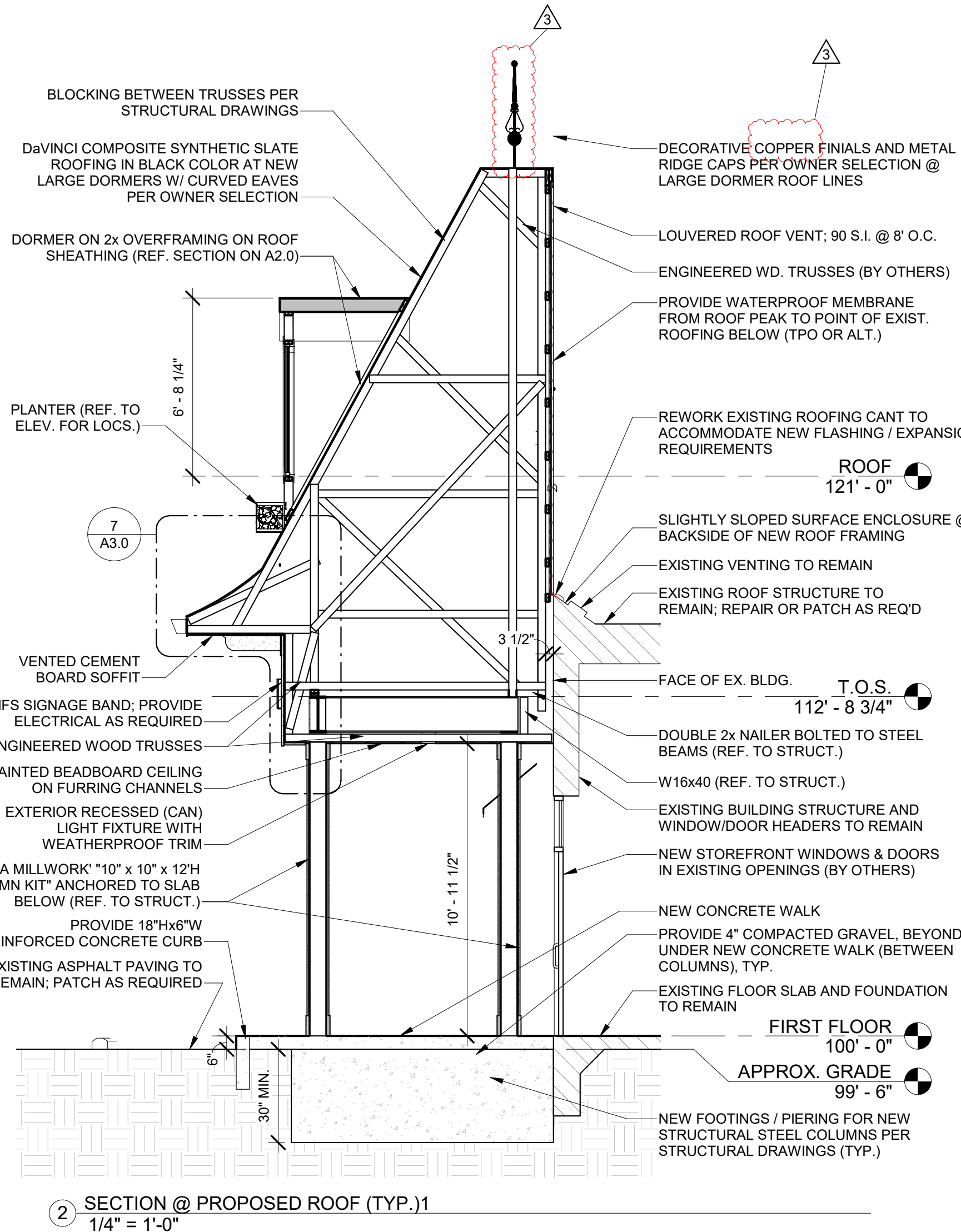
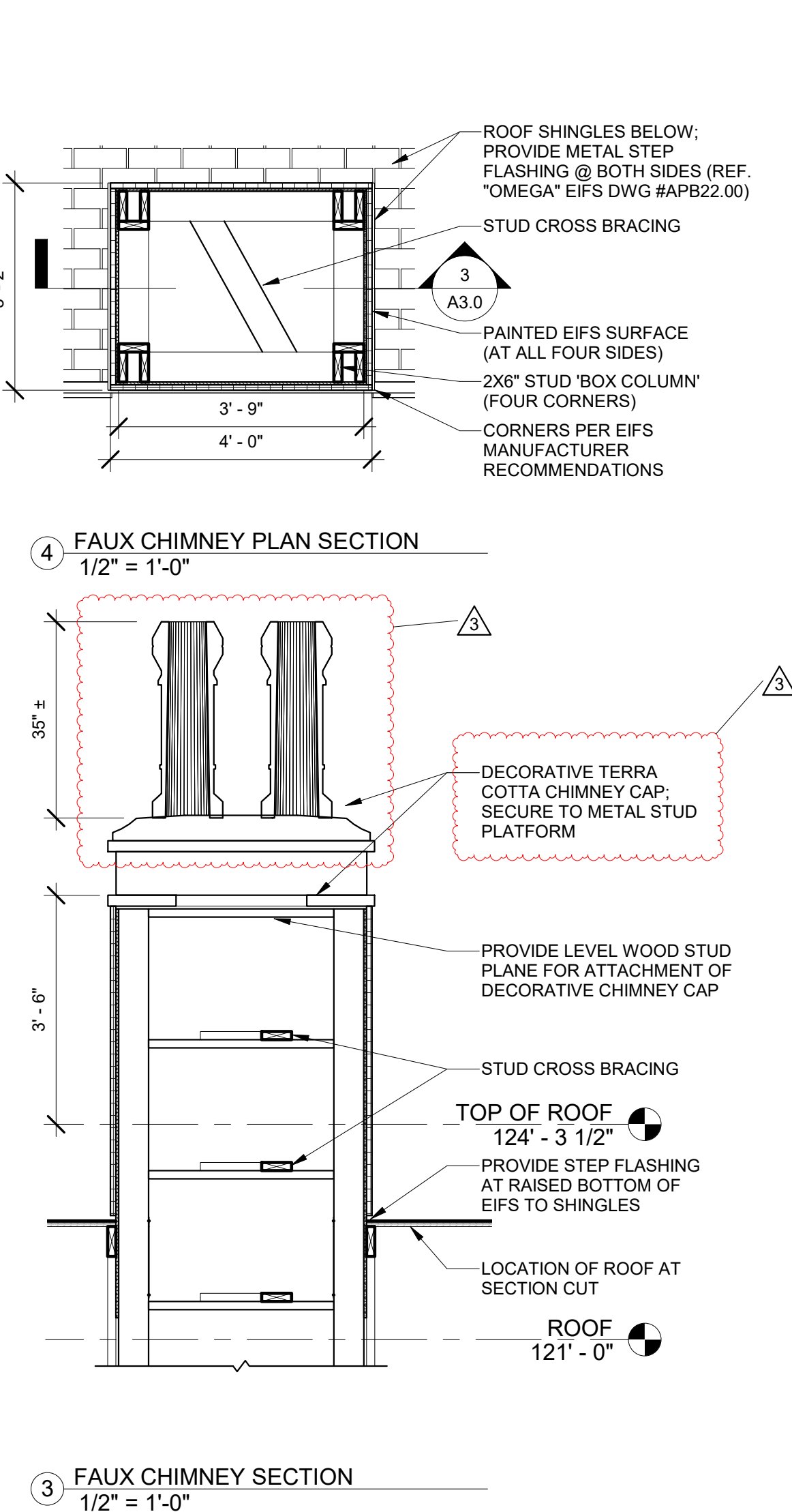
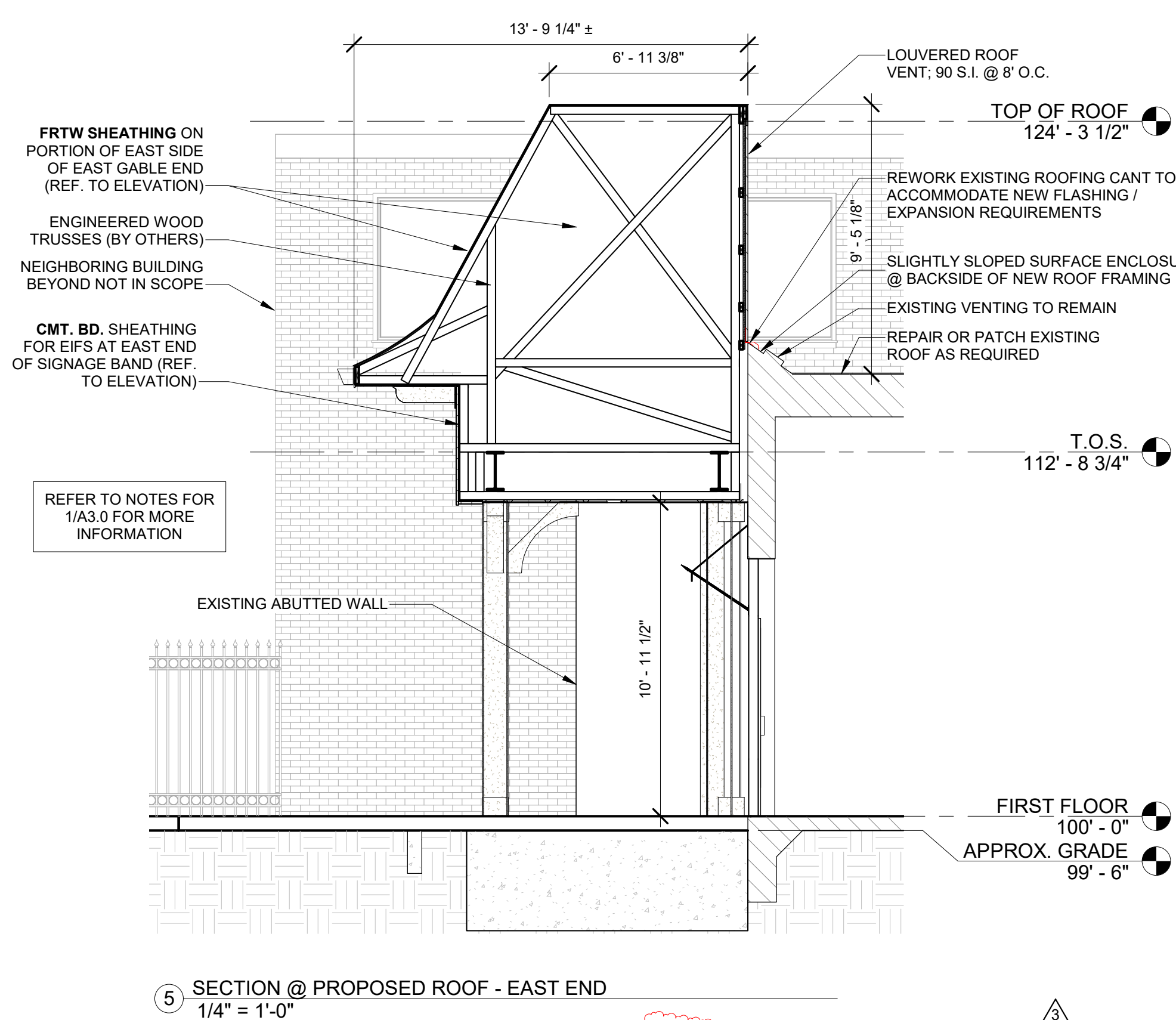
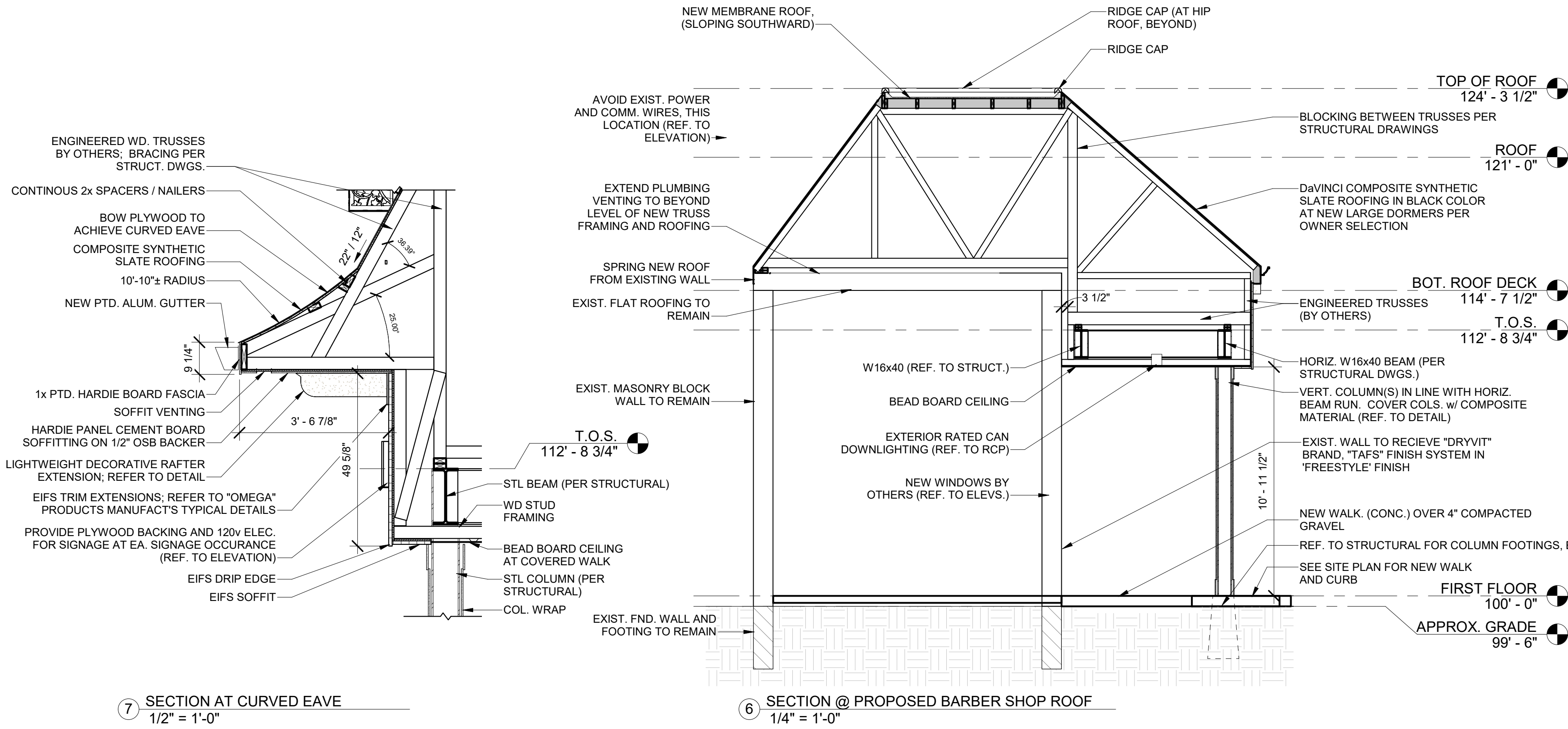
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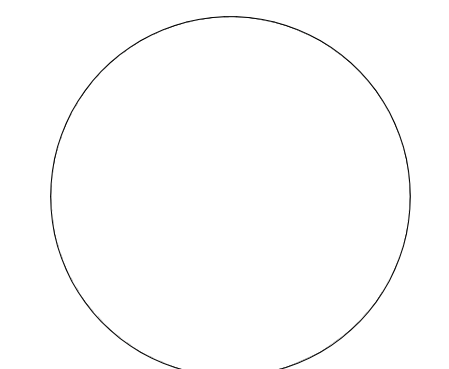
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Building Elevations



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SHEET NO.

A3.0

Building & Wall
Sections



VIEW AT CLAYTON ROAD (EAST)

MATERIAL KEY:

- SW7003 TOQUE WHITE
 - BEAD BOARD CEILING, BRACKETS, COLUMNS, DORMERS, EIFS, FASCIA, GUTTERS, RAFTERS, WOOD TRELLIS
- SW 6244 NAVAL (FABRIC TO MATCH)
 - SHUTTERS, AWNINGS
- 103 NATURAL WHITE
 - DRYVIT/TAFS SYSTEM ("FREESTYLE" FINISH)
- FIRESTONE METAL "AGED ZINC"
 - DORMER ROOFS, RIDGE CAP
- DARK BRONZE
 - DOORS, STOREFRONT MULLIONS (AS SHOWN), 2ND STORY WINDOWS
- WHITE
 - STOREFRONT MULLIONS (AS SHOWN)
- COPPER
 - ROOF FINIALS
- SLATE BLACK
 - ROOFING
- TERRA COTTA
 - CHIMNEY CAP

* RENDERING INTENDED FOR VISUAL PURPOSES ONLY; REFER TO PLANS AND ELEVATIONS FOR FINAL DETAILS

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A1.1	Proposed Site & Column Plan
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A3.0	Building & Wall Sections

WOLFF FACADE RENOVATION

9842 CLAYTON RD.
ST. LOUIS, MO. 63124

MARK	DATE	DESCRIPTION
	06/13/22	PERMIT
1	07/01/22	REVISION 1
2	09/07/22	REVISION 2
3	10/13/22	REVISION 3

DRAWN BY: CH CHECKED BY: MK

SHEET NO.

A0.0

Cover Sheet

3

PROPOSED EXTERIOR MATERIALS
N.T.S

10/13/22 updated



Dryvit Brand, "Freestyle" pattern EIFS/stucco finish



Copper Finial (3)



Superior Clay Brand, "Edwardian" Clay Chimney Pot (to be used in pairs)

‘Fypon’ Composite Rafter Tail w/ decorative profile – Exact profile T.B.D.



‘DaVinci’ Composite Slate Roofing – Dark Gray in color – Exact colors and size T.B.D.



9"



10"



12"

‘Ekena Millwork’ "10" x 10" x 12'H Craftsman Classic Square Non-Tapered Smooth PVC column kit, standard capital & standard base" composite column surround – Exact color T.B.D.



EXISTING FAÇADE AT CLAYTON ROAD



EXISTING NEIGHBORING BUILDING TO EAST



EXISTING NEIGHBORING BUILDING TO EAST



EXISTING NEIGHBORING BUILDING TO WEST

